

**KEY TREE LEGEND**

- TREES - NOT ALL SYMBOLS SHOWN WITH TREE SHADING CANOPY PERCENTAGE
- NEW SOFTSCAPE SHADING
- NEW HARDSCAPE SHADING
- CONCRETE MOWSTRIP
- ROOT BARRIER, INSTALL WHERE SHOWN ON PLANS
- PLANT QUANTITY
- PLANT KEY
- AREA USED AS 'TOTAL NEW HARDSCAPE AREA' 36,335 SQUARE FEET
- AREA USED AS 'TOTAL NEW SOFTSCAPE AREA' 19,040 SQUARE FEET

**TREE MATERIAL LIST**

SIZE	QUANTITY	KEY	BOTANICAL NAME ... COMMON NAME
TREES:			
24" BOX	5	ACE	ACER BUERGERIANUM ... TRIDENT MAPLE
24" BOX	6	CER	CERCIS CANADENSIS 'OKLAHOMA' ... OKLAHOMA EASTERN REDBUD
24" BOX	7	NYSS	NYSSA SYLVATICA ... SOUR GLUM
24" BOX	3	ULM	ULMUS WILSONIA 'PROSPECTOR' ... PROSPECTOR ELM
24" BOX	9	ZEL	ZELKOVA SERRATA 'VILLAGE GREEN' ... JAPANESE ZELKOVA

**NEW HARDSCAPE SHADING (20% WITHIN 15 YEARS)**

TREES	*100%	*75%	*50%
30' ULMUS & ZELKOVA	5 (962) = 4,810 S.F.	2 (721) = 1,442 S.F.	5 (481) = 4,405 S.F.
25' NYSSA	00 (-707) = -3,437 S.F.	4 (354) = 1,416 S.F.	2 (353) = 706 S.F.
20' ACER	00 (-491) = -6,000 S.F.	1 (368) = 368 S.F.	1 (246) = 246 S.F.
15' CERCIS	00 (-314) = -6,000 S.F.	00 (-157) = -6,000 S.F.	9 (157) = 1,413 S.F.
<b>SUB-TOTALS</b>	4,810 S.F.	3,226 S.F.	6,770 S.F.

TOTAL NEW HARDSCAPE AREA = 36,335 S.F. (20% = 7,267)  
TOTAL SHADED AREA = 14,806 S.F.  
PERCENTAGE OF SHADE = 40.7%  
\*ROOFING AREA NOT INCLUDED IN THE TOTAL AREA CALCULATION: 6,470 S.F.

\*NOTE: ROOFING MATERIAL (TPO) MEETS THE MINIMUM SOLAR REFLECTANCE INDEX REQUIRED BY THE CALIFORNIA GREEN BUILDING CODE. REFER TO TABLE A5.106.11.2.2 IN APPENDIX A5 OF THE CALIFORNIA GREEN BUILDING CODE.

**NEW SOFTSCAPE SHADING (20% WITHIN 15 YEARS)**

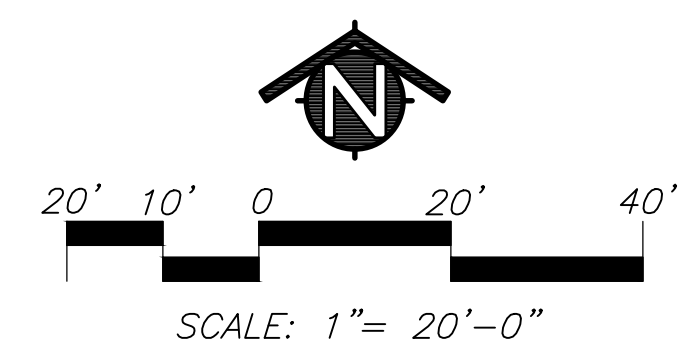
TREES	100%	50%
30' ULMUS & ZELKOVA	12 (962) = 11,544 S.F.	00 (-721) = -6,000 S.F.
25' NYSSA	8 (707) = 5,656 S.F.	00 (-354) = -6,000 S.F.
20' ACER	5 (491) = 2,455 S.F.	00 (-246) = -6,000 S.F.
15' CERCIS	9 (314) = 2,826 S.F.	00 (-157) = -6,000 S.F.
<b>SUB-TOTALS</b>	22,481 S.F.	-6,000 S.F.

TOTAL LANDSCAPED AREA = 19,040 S.F. (20% = 3,808 S.F.)  
TOTAL SHADED AREA = 22,481 S.F.  
PERCENTAGE OF SHADE = 118.0%  
\*ROOFING AREA NOT INCLUDED IN THE TOTAL AREA CALCULATION: 473 S.F.

\*NOTE: ROOFING MATERIAL (TPO) MEETS THE MINIMUM SOLAR REFLECTANCE INDEX REQUIRED BY THE CALIFORNIA GREEN BUILDING CODE. REFER TO TABLE A5.106.11.2.2 IN APPENDIX A5 OF THE CALIFORNIA GREEN BUILDING CODE.

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.  
*Bryan Hollis Walker*  
LANDSCAPE ARCHITECT

1/20/21  
DATE



IDENTIFICATION STAMP  
 DIV. OF THE STATE ARCHITECT  
 APP: 02-118668 INC.  
 REVIEWED FOR  
 SS  FLS  ACS   
 DATE: 03/04/2021



HMC Architects

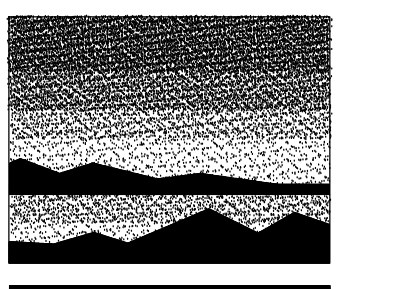
3447029000

2495 NATOMAS PARK DRIVE, STUDIO 100  
 SACRAMENTO, CA 95833  
 T 916 325 1100 / www.hmcarchitects.com

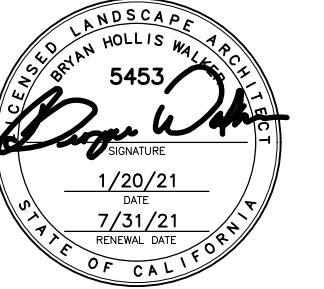
ISSUED DATE

Consultant:

20-28



**MTW group**  
 LANDSCAPE ARCHITECTURE  
 AND PLANNING  
 2707 K Street, Suite 201  
 Sacramento, CA 95816  
 916 369-3990



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Legend:

**KEY LANDSCAPE LEGEND**

- TREE OUTLINE FOR REFERENCE
- SHRUBS
- GROUND COVER
- EXISTING TURF TO BE REPAIRED
- LANDSCAPE BOULDERS
- CONCRETE MOWSTRIP
- PLANT QUANTITY
- PLANT KEY

**PLANT MATERIAL LIST**

WATER USE	SIZE	QTY.	KEY	SIZE	BOTANICAL NAME ... COMMON NAME
<b>SHRUBS:</b>					
LOW	5 G.C.	165	BUL.	2.5'X2'	BULBINE FRUTESCENS 'HALLMARK' ... HALLMARK ORANGE BULBINE
LOW	1 G.C.	107	DIA.	2'X2'	DIANELLA REVOLUTA 'COOLVISTA' ... COOLVISTA DIANELLA
LOW	5 G.C.	33	DIE.	3'X3'	DIETES X 'IDA ALBA' ... KATRINA AFRICAN IRIS
LOW	5 G.C.	53	ERY.	3'X3'	ERYSIMUM SOWLES MAUVE' ... BOWLES MAUVE WALLFLOWER
LOW	5 G.C.	13	GRE.N.	5'X5'	GREVILLEA NOELLI ... NOELLS GREVILLEA
LOW	5 G.C.	95	HES.	2'X3'	HESPERALOE PARVIFLORA 'BRAKELIGHTS' ... BRAKELIGHTS RED YUCCA
LOW	5 G.C.	64	LAN.	2'X4'	LANTANA CAMARA 'NEW GOLD' ... NEW GOLD LANTANA
LOW	5 G.C.	40	LOM.	3'X3'	LOMANA LONGIFOLIA 'BREEZE' ... DWARF MAT RUSH
LOW	5 G.C.	24	MAH.	3'X4'	MAHONIA EURYBRACTEA 'SOFT CARESS' ... SOFT CARESS MAHONIA
LOW	5 G.C.	27	MUH.D.	3'X3'	MUHLENBERGIA DUBIA ... PINE MULLY
LOW	5 G.C.	21	MUH.R.	4'X4'	MUHLENBERGIA RIGENS ... DEER GRASS
LOW	5 G.C.	25	NAN.	3'X3'	NANDINA DOMESTICA 'GULF STREAM' ... GULF STREAM HEAVENLY BAMBOO
LOW	5 G.C.	28	RHA.	4'X4'	RHAPHIOLEPS UMBELLATA 'MINOR' ... DWARF YERBOD HAWTHORN
LOW	1 G.C.	71	TEU.	1'X2'	TEUCRIUM CHAMAEDRYS ... WALL GERMANDER
LOW	5 G.C.	36	WES.M.	4'X4'	WESTRINGIA F. 'MORNING LIGHT' ... VARIEGATED COAST ROSEMARY
LOW	5 G.C.	72	WES.F.	2'X5'	WESTRINGIA FRUTICOSA 'MUNDY' ... MUNDI COAST ROSEMARY
<b>BIO-RETENTION PLANTS:</b>					
MEDIUM	1 G.C.	55	CAR.	2'X2'	CAREX TESTACEA 'PRAIRIE FIRE' ... PRAIRIE FIRE SEDGE
MEDIUM	5 G.C.	31	JUN.E.	3'X4'	JUNCUS EFFUSUS ... COMMON RUSH
MEDIUM	5 G.C.	114	JUN.Q.	1'X3'	JUNCUS EFFUSUS 'QUARTZ CREEK' ... QUARTZ CREEK RUSH
LOW	1 G.C.	91	SIS.	1'X2'	SISYRINCHIUM BELLUM ... BLUE-EYED GRASS
<b>GROUND COVER:</b>					
LOW	1 G.C.	48	O.C.	1'X5'	GREVILLEA LANGIERA 'COASTAL GEM' ... COASTAL GEM WOOLLY GREVILLEA

**GENERAL LANDSCAPE REQUIREMENTS/NOTES**

- NO PLANTING SHALL BE STARTED UNTIL SPRINKLER IRRIGATION SYSTEM HAS BEEN TESTED BY CONTRACTOR IN PRESENCE OF OWNER'S REPRESENTATIVE AND NOTED DEFICIENCIES CORRECTED.
- NO PLANTING SHALL BE STARTED UNTIL SOIL PREPARATION AND FINISH GRADING OPERATIONS HAVE BEEN COMPLETED AND APPROVED BY THE OWNER'S REPRESENTATIVE.
- QUANTITIES SHOWN ON PLANT MATERIAL LIST ARE APPROXIMATE. PROVIDE QUANTITIES INDICATED ON LANDSCAPE PLAN.
- PLANT MATERIAL IS SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
- SEE SHEET L4.1 FOR PLANTING INSTALLATION DETAILS.

**ENVIRONMENTAL REQUIREMENTS:**

GENERAL: PROCEED WITH WORK IN ORDERLY AND TIMELY MANNER TO COMPLETE INSTALLATION OF LANDSCAPING WITHIN CONTRACT LIMITS.

**PROTECTION:**

EXISTING CONSTRUCTION: EXECUTE WORK IN AN ORDERLY AND CAREFUL MANNER TO PROTECT NEW CONCRETE WALKS, WORK OF OTHER TRADES, AND OTHER IMPROVEMENTS.

EXISTING UTILITIES: DETERMINE LOCATION OF UNDERGROUND UTILITIES AND PERFORM WORK IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE. HAND EXCAVATE, AS REQUIRED, TO MINIMIZE POSSIBILITY OF DAMAGE TO UNDERGROUND UTILITIES. MAINTAIN GRADE STAKES SET BY OTHERS UNTIL REMOVAL IS MUTUALLY AGREED UPON BY ALL PARTIES CONCERNED. BE RESPONSIBLE FOR PROTECTION OF EXISTING UTILITIES WITHIN CONSTRUCTION AREA; REPAIR DAMAGE TO UTILITIES THAT OCCUR AS A RESULT OF OPERATIONS OF THIS WORK.

LANDSCAPING: PROTECT LANDSCAPE WORK AND MATERIALS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS, OPERATIONS BY OTHER CONTRACTORS AND TRADES AND TRESPASSERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS. TREAT, REPAIR OR REPLACE DAMAGED LANDSCAPE WORK AS DIRECTED AT NO ADDITIONAL COST TO CONTRACT.

ADVERSE CONDITIONS: WHEN CONDITIONS DETRIMENTAL TO SOIL OR PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, ADVERSE DRAINAGE CONDITIONS, OR OBSTRUCTIONS, NOTIFY OWNER'S REPRESENTATIVE BEFORE STARTING WORK.

**PLANTING AND TURF INSTALLATION SEASONS AND CONDITIONS**

NO WORK SHALL BE DONE WHEN GROUND IS FROZEN, SNOW COVERED, TOO WET OR IN AN OTHERWISE UNSUITABLE CONDITION FOR AMENDING SOIL, FINISH GRADING OR PLANTING.

**SOIL TESTING/SOIL IMPROVEMENT:**

SEE SPECIFICATIONS 32 90 00, SECTION 3.02 SOIL TESTING AND SECTION 3.03 PREPARATION.

**SOIL PERCOLATION**

EXCAVATE ALL TREE PITS. FILL EXCAVATED TREE PITS WITH WATER TO 1/2 DEPTH OF PIT. INSPECTOR IMMEDIATELY. SHOULD DRAIN WITHIN 4 HOURS. IF PLANTING PITS DO NOT DRAIN, NOTIFY PLANTING SHALL NOT BE STARTED UNTIL OWNER'S REPRESENTATIVE HAS RESOLVED A METHOD TO REMEDY DRAINAGE ISSUE.

**PLANT MATERIAL STANDARDS**

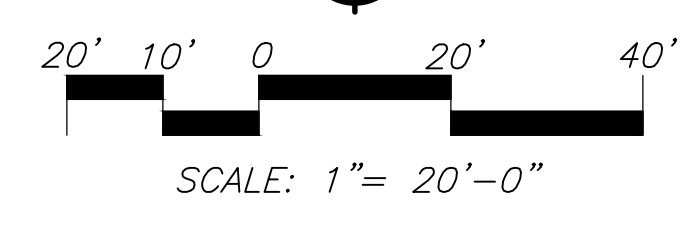
PLANTS SHALL BE IN ACCORDANCE WITH AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) ANSI Z60.1-AMERICAN STANDARD FOR NURSERY STOCK, EXCEPT AS OTHERWISE STATED IN SPECIFICATIONS OR SHOWN ON DRAWINGS. WHERE DRAWINGS OR SPECIFICATIONS ARE IN CONFLICT WITH ANSI Z60.1, DRAWINGS AND SPECIFICATIONS SHALL PREVAIL. PRUNE, THIN OUT AND SHAPE TREES IN ACCORDANCE WITH ANSI STANDARD HORTICULTURAL PRACTICE. PRUNE TREES TO RETAIN REQUIRED HEIGHT AND SPREAD, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT. DO NOT CUT TREE LEADERS, AND REMOVE ONLY INJURED OR DEAD BRANCHES FROM FLOWERING TREES.

**EXISTING LANDSCAPE AND SPRINKLER IRRIGATION SYSTEM**

WORK LIMITS OF THIS PROJECT EXTEND INTO AREAS THAT WERE PREVIOUSLY DEVELOPED UNDER OTHER CONTRACTS. PRIOR TO START OF WORK, CONTRACTOR SHALL MEET WITH OWNER'S REPRESENTATIVE TO LOCATE ALL CONNECTIONS CALLED FOR ON DRAWINGS. WORK LIMITS/FENCING SHALL BE LAID OUT BY CONTRACTOR AND VERIFIED BY OWNER'S REPRESENTATIVE. FENCE TO BE INSTALLED AND IRRIGATION SYSTEM SHALL BE TESTED WITH CONTRACTOR, INSPECTOR, AND OWNER'S REPRESENTATIVE PRESENT. DEFICIENCIES SHALL BE NOTED AT THIS TIME AND ARE THE RESPONSIBILITY OF OWNER. AT COMPLETION OF WORK, SYSTEM WILL AGAIN BE TESTED. DEFICIENCIES NOTED AT THIS TIME THAT WERE NOT NOTED PREVIOUSLY WILL BE RESPONSIBILITY OF CONTRACTOR. EXISTING LANDSCAPE THAT HAS BEEN DAMAGED DUE TO CONSTRUCTION SHALL BE RESTORED TO ORIGINAL CONDITION BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER. PRIOR TO MAKING ANY CONNECTION TO MAIN LINE, CONTRACTOR SHALL NOTIFY OWNER 1 WEEK IN ADVANCE SO ADJUSTMENTS TO EXISTING WATERING PROGRAMS CAN BE MADE.

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

LANDSCAPE ARCHITECT  
 DATE: 1/20/21



**CONSTRUCTION DOCUMENTS**

Date: 2021-02-19 Client Project No.: 3447029-000  
 Sheet: SHRUB PLANTING PLAN

L2.1



- Keynotes:**
- 02.11 (E) DO NOT ENTER EXIT ONLY SIGN AND POST TO REMAIN
  - 02.13 (E) PLAY STRUCTURE TO REMAIN
  - 02.17 (E) PARKING LOT
  - 02.46 (E) COVERED OUTDOOR EATING SPACE TO REMAIN
  - 02.55 (E) TOW-AWAY SIGNAGE TO REMAIN
  - 22.17 FIRE HYDRANT, PROVIDE ASSEMBLY PER CIVIL DWGS
  - 22.18 PROVIDE FIRE DEPARTMENT CONNECTION PER CIVIL DWGS
  - 32.19 PIPE BOLLARD - SEE CIVIL DWGS
  - 32.32 BIKE RACK

- Legend:**
- [Pattern] AREA OF WORK - MULTIPURPOSE BUILDING
  - [Pattern] (E) BUILDING
  - [Pattern] (E) SITE CONDITIONS, SEE CIVIL DWGS
  - [Pattern] (N) ASPHALT PAVING, SEE CIVIL DWGS
  - [Pattern] (N) CONCRETE PAVING, SEE CIVIL DWGS
  - [Pattern] PLANTER, SEE LANDSCAPE DWGS
  - [Pattern] LANDSCAPING, SEE LANDSCAPE DWGS
  - [Pattern] COLORED CONCRETE PAVING, SEE CIVIL DWGS
  - [Pattern] FIRE ACCESS LANE
  - [Pattern] PROPERTY LINE
  - [Pattern] STRUCTURE OVERHEAD
  - [Pattern] PAINTED RED STRIPING/CURB WITH 'NO PARKING - FIRE LANE' TEXT

- Notes:**
1. REFER TO SHEET G0.11 FOR TYPICAL SYMBOLS AND ABBREVIATIONS
  2. SEE CIVIL PLANS FOR PAVING, STRIPING AND SIGNAGE.
  3. SEE A1.12 FOR GATE SCHEDULE

Facility:  
**NORTH DAVIS ELEMENTARY SCHOOL**  
 DAVIS JOINT UNIFIED SCHOOL DISTRICT  
 555 E 14TH ST, DAVIS, CA 95616

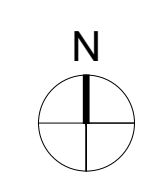
Project:  
**NEW MULTI-PURPOSE BUILDING AT NORTH DAVIS ES**

Sheet:  
**OVERALL SITE PLAN**

**CONSTRUCTION DOCUMENTS**

Date: 2021-02-19 Client Project No.: 3447029000

Sheet:



OVERALL SITE PLAN **1**  
 1" = 30'-0"

**A1.11**

- Keynotes:**
- 03.02 CONCRETE CURB RAMP. SEE CIVIL DWGS
  - 03.12 CONCRETE SEAT WALL. SEE DETAIL 21/A10.11
  - 03.24 CONCRETE BASE. SEE DETAIL 11/A1.32
  - 32.01 COLORED CONCRETE PAVEMENT
  - 32.06 PAINT 4" WIDE BLUE STRIPING AROUND PERIMETER OF ACCESSIBLE LOADING ZONE AS SHOWN
  - 32.08 CONCRETE WHEEL STOP - 12/A1.31
  - 32.09 12" HIGH "NO PARKING" PAVEMENT MARKING PAINTED WHITE
  - 32.10 TRUNCATED DOMES. SEE CIVIL DWGS
  - 32.12 PAINT WHITE CROSS HATCH STRIPING, 4" WIDE AND 36" O.C. AND 30" PERPENDICULAR FROM PERIMETER STRIPING
  - 32.22 CONCRETE MOW CURB - 10/A1.31
  - 32.24 PAINT TETHERBALL AND HOPSCOTCH COURTS. SEE 14/A1.31 AND INSTALL POLE 15/A1.31
  - 32.39 BALL WALL. SEE DETAIL 5/A1.12
  - 32.41 CHAIN-LINK FENCE SEE DETAIL 11/A1.32

- Legend:**
- AREA OF WORK - MULTIPURPOSE BUILDING
  - (E) BUILDING
  - (E) SITE CONDITIONS, SEE CIVIL DWGS
  - (N) ASPHALT PAVING, SEE CIVIL DWGS
  - (N) CONCRETE PAVING, SEE CIVIL DWGS
  - PLANTER, SEE LANDSCAPE DWGS
  - LANDSCAPING, SEE LANDSCAPE DWGS
  - COLORED CONCRETE PAVING, SEE CIVIL DWGS
  - FIRE ACCESS LANE
  - PROPERTY LINE
  - STRUCTURE OVERHEAD
  - PAINTED RED STRIPING/CURB WITH "NO PARKING - FIRE LANE" TEXT
- A VAN ACCESSIBLE PARKING STALL    E PARKING AREA  
 B ACCESSIBLE PARKING STALL    F AUTHORIZED VEHICLES ONLY  
 C ACCESSIBLE ROUTE    G ACCESSIBLE STRIPING  
 D FIRE LANE    H STUDENT LOADING  
 REFER TO SHEET A1.31 & A1.32 FOR SITE DETAILS

- Notes:**
- REFER TO SHEET G0.11 FOR TYPICAL SYMBOLS AND ABBREVIATIONS
  - SEE CIVIL PLANS FOR PAVING, STRIPING AND SIGNAGE.
  - SEE A1.12 FOR GATE SCHEDULE

**Facility:**  
 NORTH DAVIS ELEMENTARY SCHOOL  
 DAVIS JOINT UNIFIED SCHOOL DISTRICT  
 555 E 14TH ST, DAVIS, CA 95616

**Project:**  
 NEW MULTI-PURPOSE BUILDING AT NORTH DAVIS ES

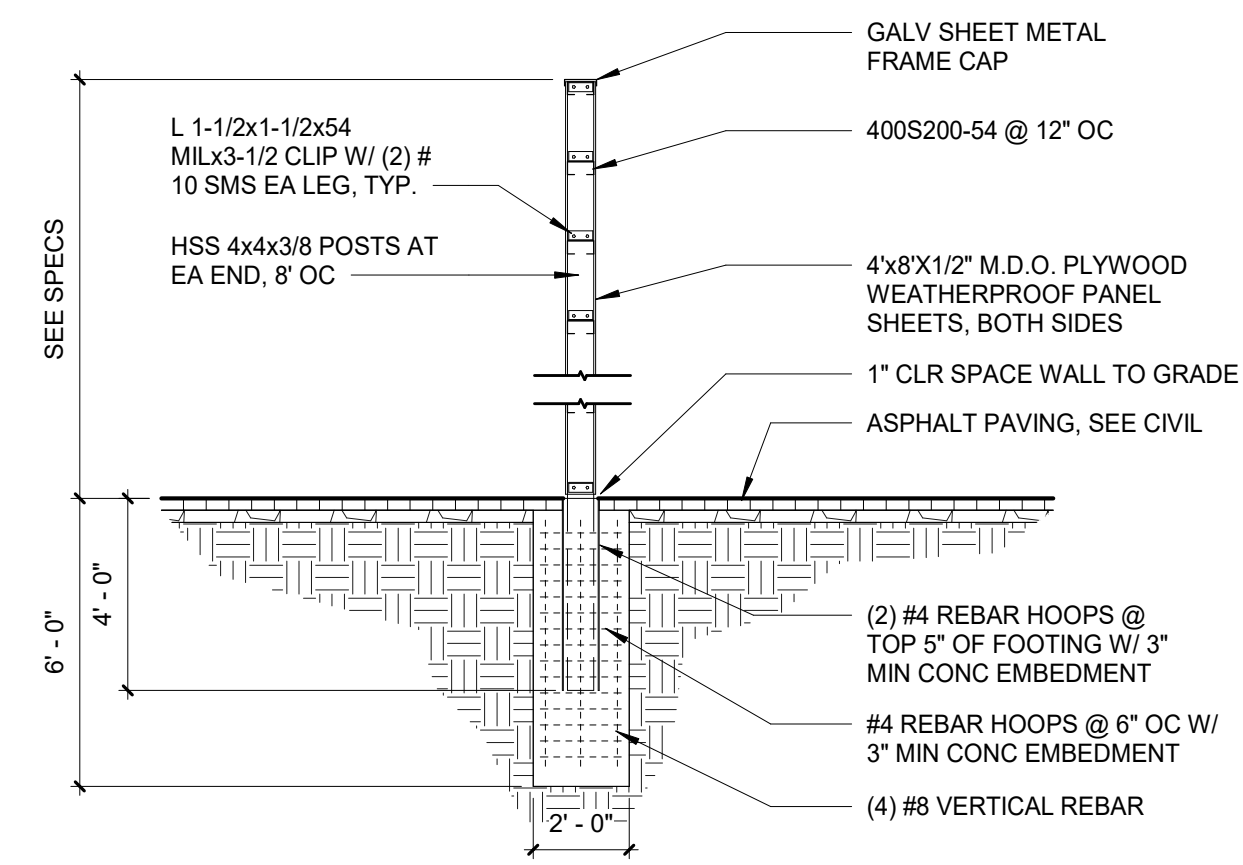
**Sheet:**  
 ENLARGED SITE PLAN

**CONSTRUCTION DOCUMENTS**

Date: 2021-02-19 Client Project No.: 3447029000

Sheet:

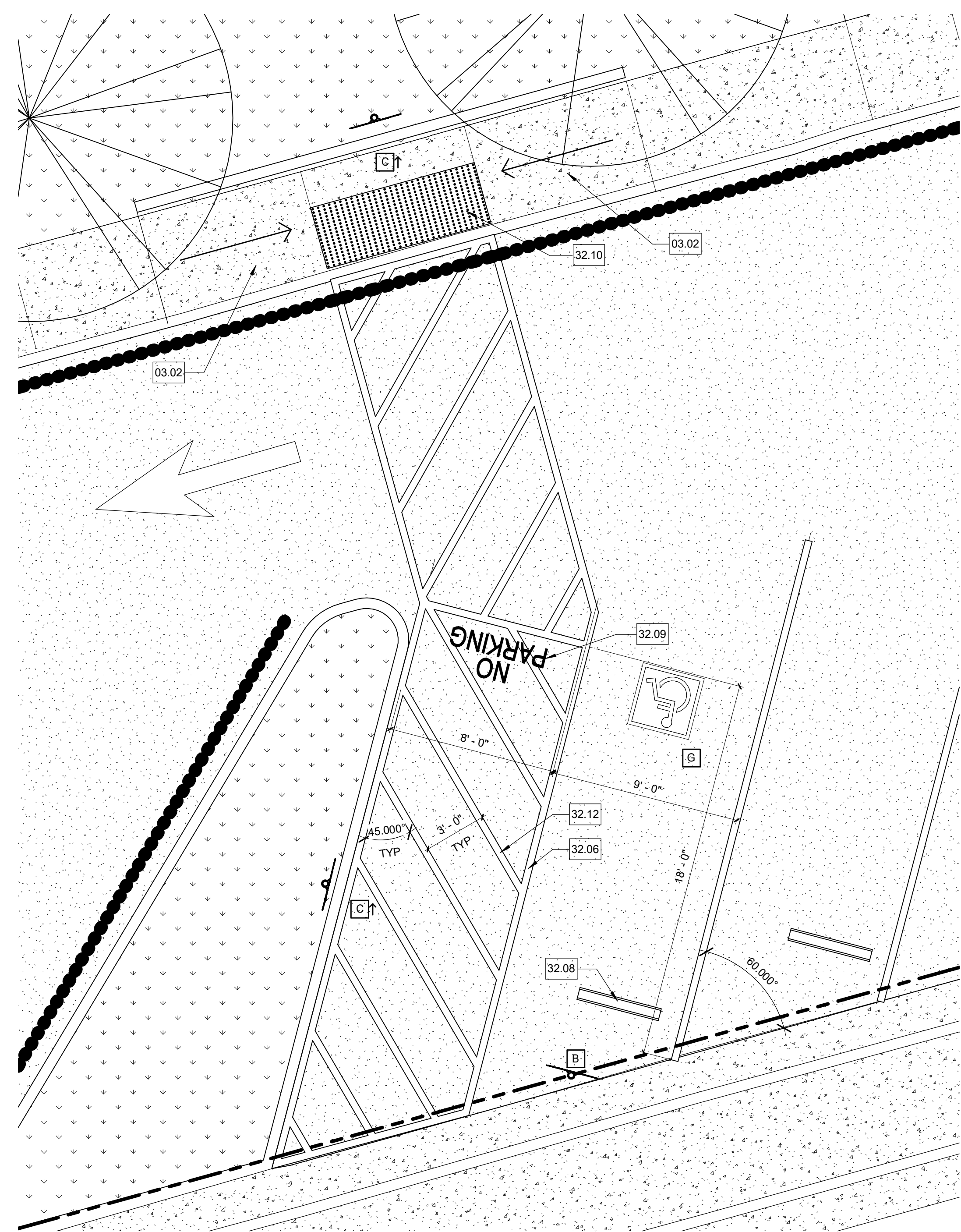
**A1.12**



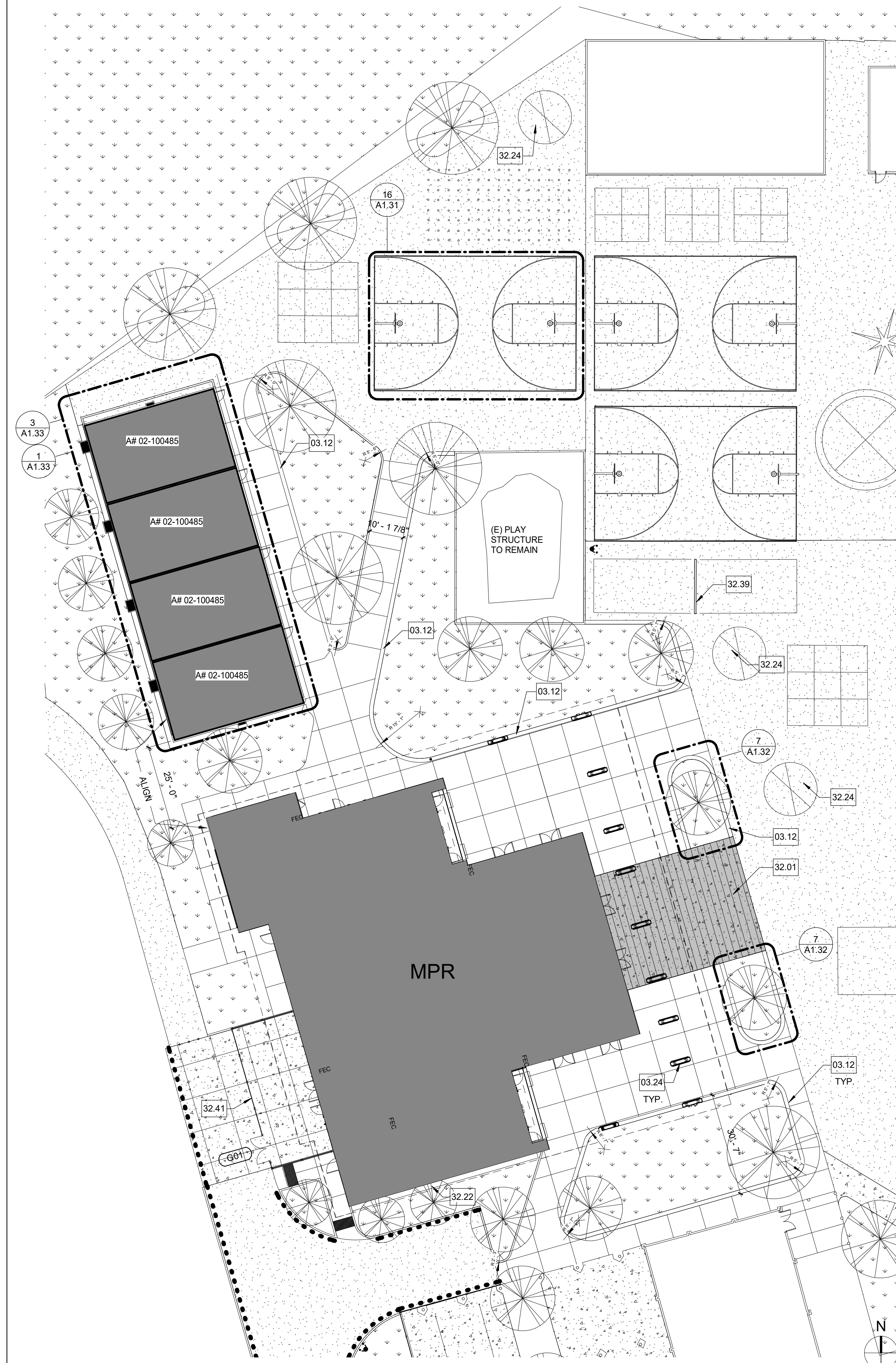
**BALL WALL 5**  
 1/4" = 1'-0"

DOOR NUMBER	DOOR SIZE		DOOR		PANIC	HARDWARE GROUP	Comments
	Width	HEIGHT	MATERIAL	FINISH			
G01	8' - 0"	6' - 0"	CL	BPC	No	20	PRIVACY SLATS

LEGEND	
OM	ORNAMENTAL METAL CHAIN-LINK
MTL	METAL FACTORY FINISH
FF	BLACK PVC COATED
BPC	



**PARKING ENLARGED PLAN 2**  
 1/4" = 1'-0"



**ENLARGED SITE PLAN 1**  
 1" = 20'-0"